

Fairwater Community

BREAKFAST POINT

ARCHITECTURAL AND LANDSCAPE STANDARDS - COMMUNITY PLAN NO DP270299

PART 1 – INTRODUCTION

Purpose

The purpose of these Standards is to provide guidance on the further development and maintenance of the Fairwater Community in accordance with its essence and theme, and to provide consistency with the remainder of Breakfast Point.

Application

These architectural and landscape standards apply to all development, modifications, additions and all external maintenance work within the site of Community Plan No DP270299 Dated 17 May 2002 located at Breakfast Point NSW. The intention is for repairs, maintenance and/or replacement to replicate the existing design, materials and finishes selections. Where alterations or additions are proposed, these shall be consistent with existing selections. An alternative may be proposed which is considered equal or superior to the existing selection in appearance and quality, however a sample must be submitted for approval.

Relationship to other Development Controls

All development at Breakfast Point requires prior Development Consent from City of Canada Bay Council. Prior to commencing planning or design work for new buildings or alterations to existing buildings or committing any external maintenance work residents should fully acquaint themselves with the provisions of the Fairwater Community Management Statement, and all relevant current Development Standards adopted by the Council. In particular, clause 3.2 of the Community Management Statement requires that no building modification, new construction or landscape modification be started or put in place without the approval of the Community Executive Committee.

Variations from these Standards

Variations from these standards may be considered where, in the opinion of the Executive Committee, a varying proposal equally or better meets the aesthetic or quality objectives of the standards. Where a variation is proposed an application should include full background information, including photographs and samples. The Community Association has the right to review, modify or adjust these standards from time to time in accordance with the Community Management Statement.

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PART 2 - SITE PLANNING STANDARDS

Site Analysis

Objective: To ensure building planning and design is sensitive to the constraints and opportunities of its physical site, its surrounding environment and its neighbours amenity and welfare.

Privacy and Security

Objectives: To ensure siting and design of buildings provides visual and acoustic privacy to residents and their neighbours in dwellings and private open space. To provide personal and property security to residents and visitors and enhance perceptions of Community safety.

Privacy between windows of habitable rooms	Windows to be located a minimum 6m apart or outside a view angle of 45° unless approved alternate screening solutions are incorporated.
Privacy between windows of habitable rooms and balconies	Windows and Balconies to be located a minimum 12m apart or outside a view angle of 45° unless approved alternate screening solutions are incorporated.
Privacy between balconies, habitable rooms and outdoor living areas	Structure or Landscape screening is to be provided for all neighbouring outdoor living areas within 9 metres and a view angle of 45° of the edges of the window or balcony.
Security	Casual surveillance, through placement of windows overlooking streets, lanes and community spaces is encouraged

Site Access and Circulation

Objectives: To provide convenient and safe access and parking consistent with the needs of residents and visitors. To plan access and circulation to minimise conflicts, visual and environmental impacts. To facilitate and encourage walking and cycling wherever possible.

Vehicle access from lane	Where lots have frontages from lanes ALL vehicle access is to from the lane
Resident Parking	All dwellings shall include a 2-car fully enclosed garage. Garage structures are not to exceed 7 metres wide. No additional garage spaces, open parking spaces or carports are permitted on house lots.
Visitor Parking	The master-planned Community includes on-street visitor parking at a rate of 1 space per 5 dwellings.
Driveway Widths	Maximum width across community land (nature strip): 3.6metres Maximum width between a rear access lane kerb and garage door: 6 metres
Driveway Gradients	Maximum: 20% (1 in 5), Maximum change in gradient: 12 1/2 % (1 in 8)

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Water and Soil Erosion Management

Objectives: To control and minimise the impact of stormwater run-off and soil erosion on the adjacent property and the waterways.

Management Plan	A Stormwater and Erosion Management Plan must be submitted for approval with applications indicating permanent and temporary management measures during construction.
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Open Space and Landscaping

Objectives: To ensure sufficient, accessible, and well-sited private open space to meet the needs of residents and to enhance the appearance, amenity and energy and water efficiency of the community through integrated landscape design.

Landscape Plan	Minimum requirements for Landscape Plans to be submitted with applications are detailed in PART 3
Landscaped Area	A minimum of 20% of the site area is to be unpaved soft landscape treated eg grass, ground cover, shrubs and trees.

Site Facilities

Objectives: To ensure the siting and design of buildings includes adequate consideration waste disposal, clothes drying, composting and outdoor storage and other facilities in a manner which retains reasonable amenity to other residents.

Application Plans are to show location of waste bin storage and outdoor drying and storage areas
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PART 3 - ARCHITECTURAL AND LANDSCAPE STANDARDS

Streetscape and Architectural Objectives

The objectives of the Breakfast Point Masterplan include the adoption of traditional neighbourhood planning principles, the provision of a high level of continuity between existing and new development, the achievement of quality urban design, high levels of amenity, create a sense of community, give definition to public domain by ensuring buildings address streets and give form to public spaces.

Architectural Style

The Breakfast Point architectural style evolves in part from traditional and vernacular styles of the local area, Sydney's history and international precedents in residential neighbourhoods combining coastal temperate/subtropical climate location influences with strong associations with the meaning and sense of Community. The precedents allow a wide palette of architectural styles and detail and significant scope for variety and interest.

The key elements, providing the necessary perception of community cohesion, unity, and variety within the theme necessary to engender a visual sense of place, neighbourhood and community with a sense of uniqueness sufficiently strong to ensure sameness is avoided and a point of difference is maintained, are:

- Two storey Apartment and Townhouse Blocks
- Repetition of steeper pitched 'traditional' roof forms and shapes, and predominantly simple rectilinear building forms modulated and adorned by secondary elements
- Traditional use of detailed joinery and masonry elements further modulating secondary elements.
- Emphasis on lighter, warm colours generally but particularly on detailed and modelled elements to catch light and catch the eye and reveal subtleties of detail modulation and texture
- The reflection of light, through the predominant use of light warm wall colours to provide a mood and sense of warmth, comfort cheerfulness, brightness, and security
- Landscape and Planting solutions for sun control, weed control, privacy management, to filter adverse climatic elements and glare in addition to landscapes overriding role in providing a sense of continuity, visual relief, encouragement of native fauna and screening of any less attractive built elements.

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External Finishes and Details

External finishes and details where repaired, modified or replaced shall be consistent with existing

Walls	Flush jointed painted brickwork, lower part of wall to have recessed grooves in brickwork
Window surrounds	Corbelled brick to townhouses. Heavy duty "Futuretech" mouldings with sand textured paint finish to Apartment buildings
Wall and gable end cladding Apartments & Townhouses	James Hardie Primeline cladding -"Newport" with timber trim Roof: Boral Insignia "Grange" colour-through concrete shingle pattern roof tiles with matching accessories, colours "Slate" and "Charcoal"
Amenities Building & Pavilions	Lysaghts Kliplik profile with folded metal cappings and flashings to match, colour "Gull Grey"
Gutters	Half-round Colorbond gutters to match existing, colour: Off-White.
Downpipes	Circular
Garage doors	B & D Slimpanel, panel lift doors, colour: White powdercoat

Roof Design

External finishes and details where repaired, modified or replaced shall be consistent with existing

Roof Shape (inc garages)	Traditional Hipped or Gable Forms, Min 27.5° pitch. Max 45° pitch.
Roof Materials	Apartment and Townhouse blocks - Boral Insignia "Grange" colour-through concrete shingle pattern roof tiles with matching accessories, colours "Slate" and "Charcoal" Amenities Building and Pavilions - Lysaghts Kliplik profile with folded metal cappings and flashings to match, colour "Gull Grey"
Roof Windows, Skylights	Solar tube with flashings, accessories and rear of reflector painted to match roof colour. Roof windows to be of flush glass type with flashings to match roof colour
Gutters	Half-round Colorbond gutters to match existing, colour: Off-White.
Roof Services	TV antennae, Satellite Dishes, solar collectors and similar not allowed on roof surfaces or other building structures facing Breakfast Point Boulevard. Sanitary plumbing vents to be painted to match roof

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Exterior Walls

External finishes and details where repaired, modified or replaced shall be consistent with existing

Walls	Flush jointed painted brickwork, lower part of wall to have recessed grooves in brickwork
Window surrounds	Corbelled brick to townhouses. Heavy duty "Futuretech" mouldings with sand textured paint finish to Apartment buildings
Wall and gable end cladding	James Hardie Primeline cladding -"Newport" with timber trim
Separation of openings	Where visible from the street, the minimum horizontal distance between openings, and between openings and corners of walls, is to be 900mm
Lintels & window heads	To be in same material as main walls, sheet infill is prohibited between the window head and eaves.
Wall Detail	Subject to appropriate detail and fit with design, the following wall adornments are encouraged: Base or Plinth Storey Bands and Expressed Coursing Quoins / Corner Boards Cornices and corbelling
Rainwater Downpipes	Circular Colorbond downpipes to match existing, colour: Off-White
Sanitary, gas, water plumbing and wiring or conduits of any kind.	Prohibited anywhere to walls externally

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Windows, Window Coverings and Doors

Windows to be of similar proportion to the existing and fabricated to match existing aluminium sections.
Windows shall be white.

Opening Area	No more than 30% of the surface area of a wall is to be window or door opening. Any area of wall behind an approved balcony, verandah, pergola or portico is excluded from this requirement. No opening is to be closer than 900mm from a building corner and openings are to be at least 900mm apart.
Opening Proportion	Opening are to vertically or square proportioned with the width of not exceeding 3/4 the height.
Materials	Frames, and sashes are to be White Powdercoat Aluminium. No removable or false glazing bars are permitted.
Sash styles	Double hung windows
Architraves Reveals	Simple 100-150mm constant dimension section around each opening is to be provided in render, or composite material.
External Shutters	Louvre shutters are to be fully functional and operable
Security Bars, Grilles	Are not to be visible from the street If required, they are to be mounted internally
Insect Screens	Insect screens shall be in a white aluminium frame to which black insect screen is attached.
Internal Window Coverings	Plantation shutters, venetian blinds, vertical blinds and curtain material/ backing facing the outside of the building shall be white/off white
Garage Doors	B & D Slimpanel, panel lift doors, colour: White powdercoat

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Balconies, Terraces, Balustrades, Screens, Porches, Porticos, Verandahs, Pergolas and External Sunshading Devices

These form the important transition between community and private space visually they belong both to the private space and the Community. They are major contributors to streetscape providing variety in light and shadow, texture, depth, and relief. Balustrades and screens shall match existing. External shading devices such as umbrellas, awnings, sails and pergolas selected from below, may be considered.

Balconies/Terraces	To be open
Balustrades	Aluminium picket 40 x 20 with handrail, square intermediate supports with shaped capping and square aluminium posts Powdercoat Dulux 'Satin White' 32312
Privacy Screens	Slatted timber privacy screens, 40 x 20 slats in dressed timber perimeter frame, installed above handrails at ends of balconies, painted white to match Dulux 'Satin White' powdercoat V-jointed tongue & groove boarding in dressed timber perimeter frames, installed between balconies & ground floor terraces, painted white to match Dulux 'Satin White' powdercoat
Balcony/Verandah Screens	Where necessary for privacy, adjustable louvre screens may be incorporated in verandahs, or balconies. The screen frames are to be setback from the face of posts
Security Screens	On doors opening onto private courtyards - should be of a plain or diamond pattern. Heavy ornamentation, curved and diagonal motives are to be avoided On doors opening to Breakfast Point Boulevard – shall be plain
Umbrellas	To be Market umbrella style - White/Off white preferred. Other solid colours may be used but are subject to prior approval by the Executive Committee.
Retractable Awnings	White/Off white preferred. Other solid colours may be used but are subject to prior approval by the Executive Committee.
Sails	White/Off white preferred. Other solid colours may be used but are subject to prior approval by the Executive Committee.
Pergolas, Beams & Rafters	Pergolas to be consistent with existing. Beams & Rafters are to be min 200mm deep, spaced max 600mm apart cantilevered min 450mm with ends simply chamfered or shaped. Painted White
Piers	Brick, Masonry piers are to be single storey height, min. 450mm wide, 220 deep and to be spaced no further apart than 1 1/2 x height All piers are to include a simple base and capital detail.
Posts	Timber or Metal posts are to be single storey height, min 125x125 and spaced apart no further than 1 1/2 x height Paired posts are to spaced apart no further than 3x post width. All posts are to have a simple base and capital detail
Valance	If used, are to be of simple rectilinear detail consistent with balustrading detail

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Amenities Buildings and Pavilions

Pavilions within the external area are to be of compatible style with the existing. These generally have a simple form with pitched roof. Window treatments to be consistent. Materials and Colours to be:

Posts	Timber - square with stop chamfered edges - Painted white
Walls	Brick with header capping course painted to match adjacent building
Walls	Boarding - James Hardie "Primeline – Newport" or timber of same profile
Roof	Metal roof sheeting - Kliplok profile, Colorbond "Gull Grey"
Guttering	Half-round gutter, Colorbond "Off White"
Downpipes	Colorbond - painted white
Internal Floor Tiles	Ceramic Tiles Royal Tiles "Terra" (27D Almond)
Internal Wall Tiles	White

Fences and Letterboxes

Where fencing is replaced or additional fencing proposed the fencing shall match existing selections.

Apartment Courtyards:	
Timber fences	Timber paling fences 1.8m high with decorative posts and capping, painted Dulux Timbercolour 4OYY441095 "Dry Goods"
Picket Fencing	Aluminium picket fence with button tops and square intermediate posts - Eclipse or equal, colour "Charcoal"
Townhouse Courtyards/Terraces:	
Timber fences:	Dressed timber panelled fences 1.6m high, painted White
Picket Fencing	Aluminium picket fence with button tops and square intermediate posts - Eclipse or equal, colour "Charcoal"
Letterboxes	No letterboxes or collection boxes other than those provided shall be allowed. Letterboxes shall be white.

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Paving

Where paving is replaced or additional paving proposed the paving shall match existing selections

Townhouse Courtyards	300x300 Ceramic Tile, Diamond pattern with border - Royal Tiles "Terra"
Balconies	300x300 Ceramic Tile, Diamond pattern with border - Royal Tiles "Terra"
External paved areas	
Steps	Brick riser – Brick Tread - Boral Pavescape profiled coping brick
Paths	Concrete pavers Rocia Trupave "Sierra", laid with stack bonded edging and diagonal basketweave pattern infill
Pool area	Clay pavers Boral Pavescape "Tan", laid with stack bonded edging and diagonal basketweave pattern infill
Pool coping	Clay paver Boral Pavescape "Merino" coper
Driveways	Concrete: broomed concrete

Signage

Signage throughout the development shall be consistent.

Font	Times New Roman small caps
Colours	"Charcoal" powdercoat externally, satin chrome or brushed aluminium internally Letterbox numbers shall be consistent
Street Numbers	House numbers are to be located on the letterbox in accordance with the Design Manual standard detail
House Names	House names, if required, may only be fixed to the main walls of the house. Letters must be no higher than 60mm and be individual screw fixed metal letters
Other signs	No other signage is permitted within view of the street. Real Estate marketing/sales signs are not permitted without written consent

Exterior Lighting

External lighting shall reflect the existing selections

External Building Lights	Wall mounted Light – consistent with existing. Colour: White Soffit Bunker light - consistent with existing. Colour: White
Community Area Lighting	Bollard - to match existing. Colour: Black Brick lights - to match existing. Colour: Black

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Mechanical Equipment and Exterior Facilities

Air-conditioning and other plant	No mechanical equipment is to be located in front of dwellings or be within view of the street
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Exterior Colour Schedule

A core theme of Breakfast Point is to present a light bright, warm and cheerful mood and atmosphere. The maximum reflection of light and the avoidance of dark gloomy shadowy areas is critical to the achievement of this character and a sense of comfort and security.

Warm light, pastel wall colours are required. Dark or Strong colours especially cool greens and blues are strongly discouraged.

Psychological relief from summer heat and glare, and vibrant colour will be provided by planned landscape. The exception to this theme is controlled use of traditional face brick, reflecting local urban traditions.

In applying this theme to Fairwater, the following principles apply:

Lower wall:	Generally a darker tone of wall colour
Upper wall:	Wall colour
End buildings:	Single colour to upper and lower parts
Garage Doors:	White
Trims, Vents:	White
Windows:	White
Doors:	White
Balustrades:	White
Eaves, Soffit:	White
Balcony edges:	White
Downpipes:	To match wall colours
Front Doors:	White
Gables:	White or to match upper wall colour

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Schedule of Colours - Apartment Buildings

Item	6-12 Fairwater Close (Block A)	14-16 Fairwater Close (Block B)	Amenities
Roof	Boral Insignia Grange Tiles "Slate"	Boral Insignia Grange Tiles "Charcoal"	Kliplok Colorbond "Gull Grey"
Cupolas, vents etc	Painted to match roof	Painted to match roof	Painted to match roof
Gutters	Off-White Colorbond	Off-White Colorbond	Off-White Colorbond
Fascias & Barges	Off-White Colorbond	Off-White Colorbond	Off-White Colorbond
Eaves & Soffits	White	White	White
Walls – body Balcony columns	4OYY 65/061 "Canvas Cloth"	PW1.B7 "Frock"	White
Walls - base	4OYY 51/084 "Burmese Beige"	PW1.B7 "Frock"	White
Walls, storey band & applied trim - in recesses	4OYY 51/084 "Burmese Beige"	na	na
Downpipes	Painted in with background	Painted in with background	Painted in with background
Storey band, applied trim	White, except in recesses	White	White
Bay window FC cladding & cover boards	White	White	White
Gable end cladding	4OYY 651061 "Canvas Cloth", white trim	PW1.B7 "Frock", white trim	na
Entry Porches (walls adjacent entry door & returning to main wall of building)	4OYY 51/084 "Burmese Beige"	PW1.B7 "Frock"	na
Entry porch columns & pediment	White	White	na
Window & doorframes	White powdercoat	White powdercoat	White powdercoat
Balcony balustrades & aluminium posts	White powdercoat	White powdercoat	na
Stair balustrades	Charcoal powdercoat	Charcoal powdercoat	na
Pergolas	White	White	White
Driveway retaining walls	4OYY 51/084 "Burmese Beige"		na
Raised planters	4OYY 511084 "Burmese Beige"	PW1.B7 "Frock"	na
Carpark entry doors	White powdercoat	White powdercoat	na

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Schedule of Colours – Townhouses

Item	16-26 Breakfast Point Boulevard (Block C)	4-14 Breakfast Point Boulevard (Block D)
Roof	Boral Insignia Grange Tiles "Charcoal"	Boral Insignia Grange Tiles "Slate"
Vents etc	Painted to match roof	Painted to match roof
Gutters	Off-White Colorbond	Off-White Colorbond
Fascias & Barges	Off-White Colorbond	Off-White Colorbond
Eaves & Soffits generally	White	White
Walls - body	P13.B1 "Limed White" No 18 & No 20 P10.B3 "Natural Stone" No 16 & No 26	3OYY 601104 "Buffy" No 6 & No 8 3OYY 391130 "Sahara" No4 & No 14
Walls - face brick	Boral "Amber Blaze" 50 mm No 22 & No 24	Boral "Amber Blaze" 50 mm No 10 & No 12
Walls – base	P10.B3 "Natural Stone"	3OYY 391130 "Sahara"
Downpipes	Painted in with background Downpipe pair painted to match painted townhouse at face brick/ painted brick junction	Painted in with background Downpipe pair painted to match painted townhouse at face brick/ painted brick junction
Upper floor Hardiplank cladding (end townhouses)	White No 16 Pl 3.B1 "Limed White" No 26	White No 4 3OYY 601104 "Buffy" No 14
Trims to upper floor Hardiplank cladding	White	White
Storey band, window margins, applied trim - painted townhouses	White	White
Storey band, window margins - face brick townhouses	Unpainted	Unpainted
Bay window FC cladding & cover boards, gable end cladding & trims	White	White
Entry Porches – columns & pediment	White	White
Window & doorframes	White powdercoat	White powdercoat
Balcony & terrace balustrades	Charcoal powdercoat	Charcoal powdercoat
Stair balustrades	Charcoal powdercoat	Charcoal powdercoat
Window shutters	White	White
Privacy screens	White	White
Garage doors	White powdercoat	White powdercoat

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Landscaping

Any additional and/or replacement planting is to be consistent with the intent of the original planting scheme as defined previously in Architectural Style.

Community Planting

Community Pathway	Hedges are preferred to a height of 900mm
Hedging along fencelines	Where hedging is used with fences, hedge height is to be maintained to a maximum of 400mm above the highest point of any boundary fence of the respective lot, along the fenceline

Landscaping Plans

Where detailed landscape plan is to be submitted for approval, it is to show details of all paved surfaces and facilities and the minimum mandatory functional planting including species, and mature size including:

Landscaped Area	A minimum of 20% of the site area is to be soft landscaping
Retaining , Garden walls and embankments	Full details required
Fencing	Details of types and extent in compliance with the standards
Front Fence	Continuous shrub planting behind front fence and returning to the line of the main front wall of the dwelling
Landscape structures	Full detail
Shade Tree	At least one suitable shade tree to each major outdoor living space
Privacy Screening and sun control	All planting necessary to meet privacy standards or to meet energy efficiency standards
Swimming Pool and paved outdoor entertaining area screening	All planting to minimise impact on neighbours or to screen view from community areas
Turfed Areas	All grassed areas are to be turfed

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Design guidelines for privacy screens, awnings and blinds in strata scheme based on registered strata plan number 67959

Despite any other provision of these Architectural and Landscape Standards, the provisions of the Louvre Guidelines are incorporated into these Architectural and Landscape Standards and must be complied with.

In this item, “Louvre Guidelines” means:

- (a) The document “Design Guidelines for the Installation of External Privacy Screens, Awnings and Blinds” prepared by Giles Tribe Architects and appended to these Architectural and Landscape Standards; and
- (b) The plans DG-01 and DG-02 prepared by Giles Tribe Architects, reduced copies of which are appended to these Architectural and Landscape Standards.

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PART 4 - ENVIRONMENTALLY SUSTAINABLE DEVELOPMENT (ESD) PRINCIPLES

The following provides a guide to ESD principles generally.
Applicants should familiarise themselves with Council's current policy.

Energy Efficiency

To achieve energy efficient housing using passive solar design, that provides residents with year-round comfort and reduces energy consumption

Solar Access & Orientation

- Buildings are to be oriented to maximise solar access to living areas
- Dwellings are to achieve a minimum rating of 3 V2. stars under the Housing Energy Rating Scheme (NatHERS)
- Windows are to be located and shaded to reduce summer heat load and permit entry of winter sunlight.
- Exterior shading devices are to be used, e.g. eaves, balconies, verandahs, pergolas, window shutters, adjustable louvres, landscape devices.
- Living areas are to be located to the north side of the dwelling
- Sun is to be available to a living area for at least three hours between 9am and 5pm on 21 June.

Building Materials & Landscape

- High thermal mass materials are to be used for living areas and to receive maximum sun during cooler months
- Insulation is to achieve an 'R' value of: R2.0 for roofs and ceilings and R2.0 for walls - except where the construction materials used embody an equivalent total R value. (AS 2627.1993)
- Deciduous trees are to be planted to provide summer shading and allow winter sun entry.
- Outdoor clothes drying areas are to be provided with sun and breeze access
- Details of finishes, materials and colours are to be submitted to Council with the Development Application.
- The applicant is to demonstrate that materials used in construction: maximise renewable resources; are energy efficient (low embodied energy); are generally non-polluting, durable, recyclable or reusable
- No rainforest timbers or timbers cut from old growth forests are to be used. All timber used on site is to be stamped accordingly.
- Porous pavers or similar which increase infiltration and reduce stormwater runoffs are to be used on driveways, and pathways wherever possible. The impervious pavement is not to exceed 25% site area.

Ventilation

- Dwellings are to be oriented to catch cooling summer breezes
- Window and door openings are to be located to facilitate cross-ventilation

Services & Appliances

Development Applications are to demonstrate how energy conservation measures are incorporated in the design including:

- Hot water systems using renewable, or low pollutant energy sources.
- Energy efficient reticulation planning and insulation.
- Energy efficient appliances.
- Energy efficient lighting

Fairwater Community SP 67959
Fairwater Close, Breakfast Point

Job No: 15001-010

Design Guidelines for the Installation of External Privacy Screens, Awnings, and Blinds.

1.0 INTRODUCTION

The purpose of this document and the accompanying drawings is to provide a set of guidelines for the installation of external privacy screens, awnings, blinds and other sun shading devices to windows, doors, balconies, terraces and courtyard at the Fairwater Apartments.

The Design Guidelines hereby assists the Executive Committee in maintaining a consistent architectural appearance for the apartment buildings and inform applicants proposing to install external privacy screens and/ or shading devices within their lots.

2.0 DESIGN PRINCIPLES

The design guidelines set out below are based on the following principles:

2.1 SLATTED TIMBER PRIVACY SCREEN

Generally, slatted timber privacy screen installations must integrate with the existing handrail, post and header beam, similar to existing ones installed throughout the building.

They are to be located on the side of the projecting balcony when abutting another apartment. *Refer to the Drawings.*

Specifications:

- 40 x 20 mm slats in dressed timber perimeter frame installed above handrails at ends of balconies.
- To be painted white to match Dulux Vivid White.



Image 1. Slatted timber screen on the side of balcony.

2.2 ADJUSTABLE LOUVRE SCREENS

Generally, adjustable louvre screens installations must be full height and integrate with the existing post or columns. Shutter tracks must be fixed behind the header beam and behind the balustrade of the balcony. On Ground level, the sliding shutters will be supported from a track fixed to the underside of the balcony slab above.

Louvre screens must not enclose more than 50% of the space between the columns on ground level and between posts on First Floor, except in specified locations where privacy is an issue, full enclosure of the opening will be permitted. *Refer to the Drawings.*

Unless they are fixed, generally 1 or 2 shutters will be mounted on a single track which spans the full width of the bay, allowing shutters to be moved to any location. Additional shutter will be mounted on another parallel track to allow stacking. Alternatively, shutters may be hinged singly or in a bi-folding arrangement to suit the particular requirements of individual owners. Hinged & bi-folding shutters may not require a bottom track, making them especially suitable for Ground Level installations where there is paving.

On the First Floor balconies, blades below the transom must be fixed in the closed position to prevent climbing and to ensure compliance with the Building Code of Australia. The top edge of the transom must align with the top of the handrail. Install bottom track so as to allow for water drainage.

On completion of installation, the installer must supply a certificate from a structural engineer attesting to the structural adequacy of the installation.

Specifications:

- Generally, louvre shutters must be either 800mm or 900mm. However, where shutters are permitted to fully enclose a bay, they must be sized to suit the opening.
- 60mm aluminium frame with fully adjustable 90mm elliptical blades.
- Shutters, tracks and brackets must be finished in powder coat, colour Dulux Duratec "White Satin" 32312.
- Visible fixings must be finished to match.
- All fixings must be Grade 316 stainless steel. When fixing to concrete or masonry, chemical anchors must be used – do not use expansion type anchors.



Image 2. Adjustable louvre screen on balcony.

2.3 PATIO / PERGOLA AWNING

The installation of awning is generally intended to provide cover from rain and reduce direct sunlight & heat. There are three types of awning that have been installed throughout the strata scheme;

- a. Pivot arm awning – may be installed above windows or doors at ground level. *Refer to the Drawings.*
- b. Folding arm awning – may be installed at ground level, above the door opening, below the timber pergola (if there is any) or the external side of patio wall leading into the courtyard area. *Refer to the Drawings.*

- c. Conservatory awning – may be installed at ground level over any existing pergola, without compromising its structural integrity. The installer must supply a certificate from a structural engineer attesting to the structural adequacy of the installation.

Specifications:

- Pivot arm and folding arm type awnings are to be without visible guides.
- The blinds' fabric is to be white.
- Associated hardware and fittings are to be painted to match Dulux Duratec "White Satin" 32312.



Image 3. Pivot arm awning on window



Image 4. Retractable folding arm awning.



Image 5. Conservatory awning above pergola.

2.4 DROP DOWN BLINDS

Generally, drop down blinds are installed on the edge of balcony or ground floor patio, behind the face of the external wall, under the slab or header beams. *Refer to the Drawings.*

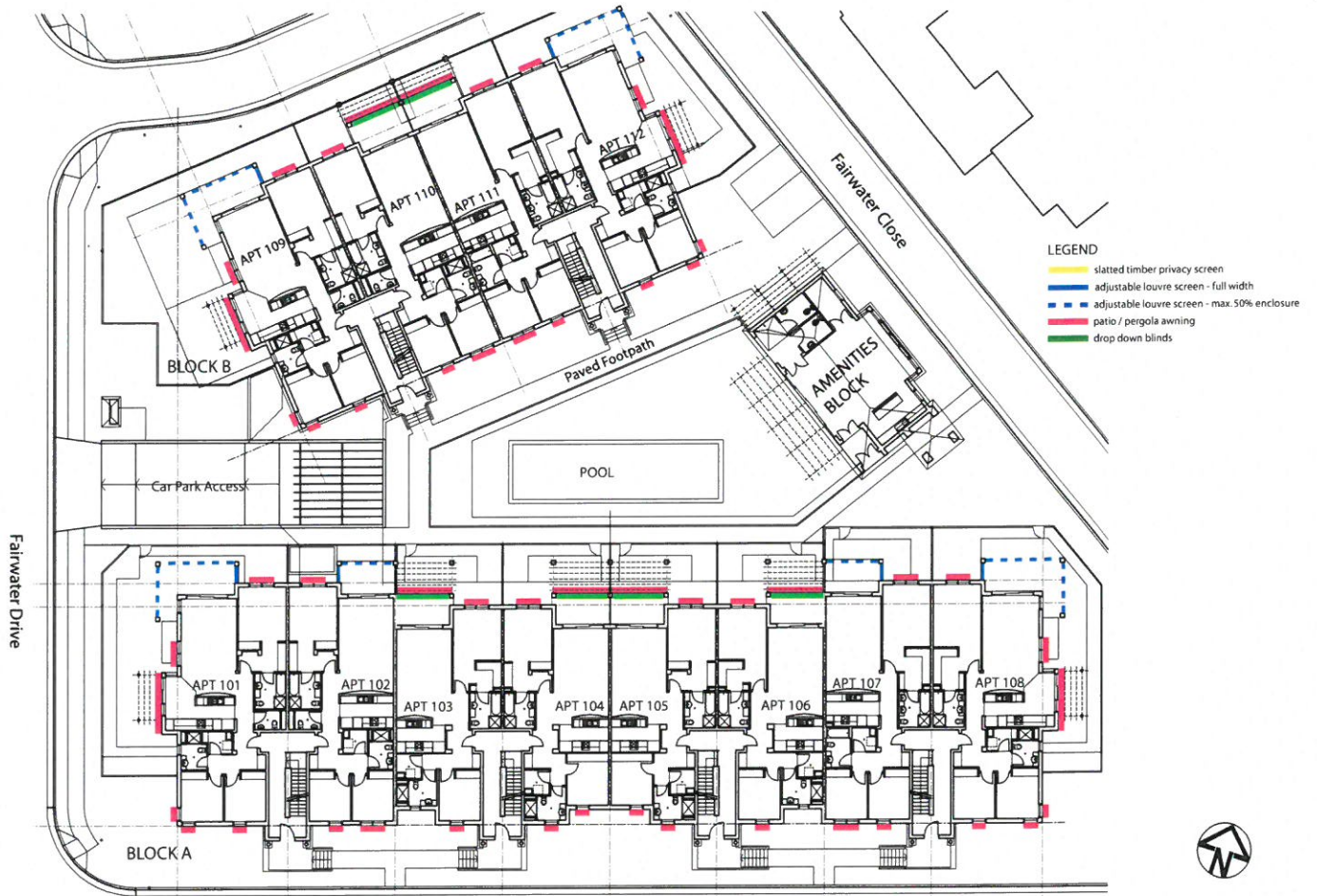
It is a practical design solution to aid privacy, control glare, heat and rain blown into the outdoor living areas, as it enables the shading device to be fully retracted and only used when necessary.

Specifications:

- The blinds' fabric is to be white.
- Associated hardware and fittings is to be painted to match Dulux Duratec "White Satin" 32312.
- When fitted outside windows, they are not to have visible guides.



Image 6. Drop down blinds on patio.



Level B 263 Clarence Street SYDNEY 2000 P 61 2 926 5005 F 61 2 926 9908
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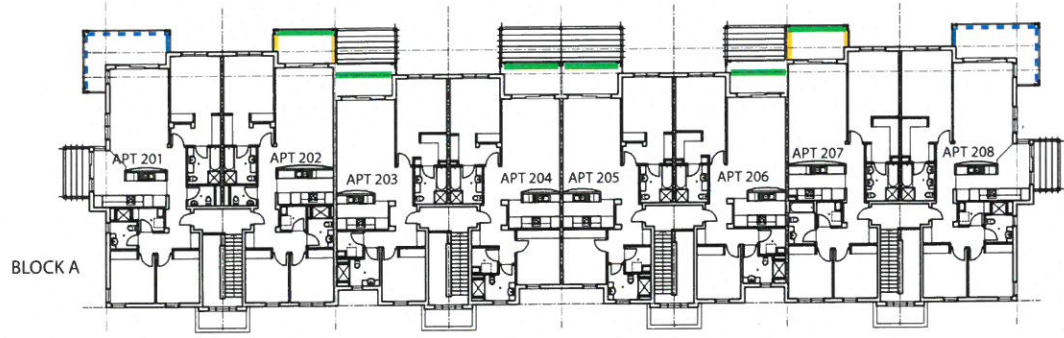
Project: **FAIRWATER APARTMENTS SP 67959**
FAIRWATER CLOSE
BREAKFAST POINT

Scale: 1:2500AS
 Date: 31.05.2015
 Drawn: FT
 Job Ref: **15001-010**

Drawing: **INSTALLATION GUIDELINES**
GROUND FLOOR
 Drawing No: **DG-01**



- LEGEND**
- slatted timber privacy screen
 - adjustable louvre screen - full width
 - adjustable louvre screen - max. 50% enclosure
 - patio / pergola awning
 - drop down blinds



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 Giles Tribe Pty Ltd
 Memorandum of Association: Memorandum of Association for the purposes of the Companies Act 2006
 The company's registered office is at the address above and will be the registered office of the company.

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Project: **FAIRWATER APARTMENTS SP 67959**
FAIRWATER CLOSE
BREAKFAST POINT

Scale: 1:25000
 Date: 31.05.2015
 Drawn: FT
 Job Ref: 15001-010

Drawing: **INSTALLATION GUIDELINES**
FIRST FLOOR
 Drawing No: **DG-02**