

LOCATION PLAN

NAME OF DEVELOPMENT, IF ANY
FAIRWATER COMMUNITY

ADDRESS FOR SERVICE OF NOTICE
 THE ESTATE MANAGER
 C/- 51 RILEY STREET
 WOOLLOOMOOLOO 2011

COMMUNITY PLAN
 SHEET 1 OF 5 SHEETS

For reference to additional sheets see schedule below

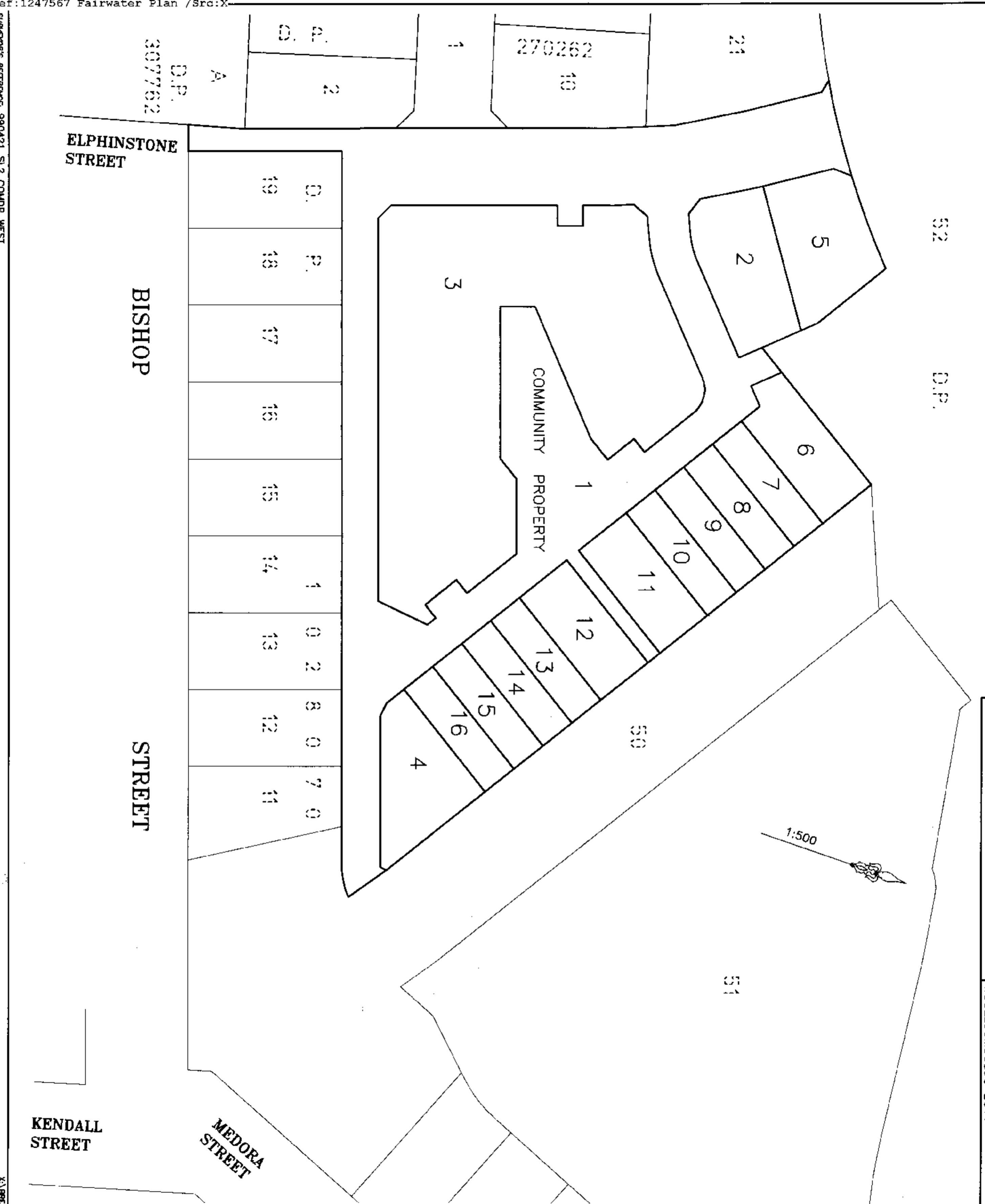
Registered: 17.05.2002

This sheet is being continually updated to show the current subdivisional pattern of the scheme. For details of such updates and additional and replacement sheets added see schedule below.

Councils Approved No. 1427
 Date: 27/04/02
 Surveyors Signature: *Fay Mack*
 Date: 15/03/2002

SCHEDULE OF CHANGES TO THE SCHEME

Lot No.	Details	Sheet No.
3	SUBDIVIDED INTO SP 61959	
285	SUBDIVIDED INTO LOTS 17-18	6



D.P. 307762
 A

THE COMMON SEAL OF UNITED SUPER PTY LTD (ACN 006 261 623) WAS AFFIXED PURSUANT TO ITS CONSTITUTION.



SECRETARY

DIRECTOR

SURVEYORS (PRACTICE) REGULATION 2001: CLAUSE 32(2)					
MGA CO-ORDINATES					
MARK	EAST	NORTH	ZONE	CLASS	ORDER
PM 34013	325 671.518	6 253 431.287	56	B	2
SSM 38607	324 955.498	6 253 097.670	56	B	2
SSM 121904	325 084.507	6 253 132.519	56	B	2
SSM 121911	325 309.592	6 253 184.202	56	B	2

SOURCE: MGA COORDINATES ADOPTED FROM SCIMS 06/02/02 COMBINED SCALE FACTOR 0.999972

DETAIL PLAN

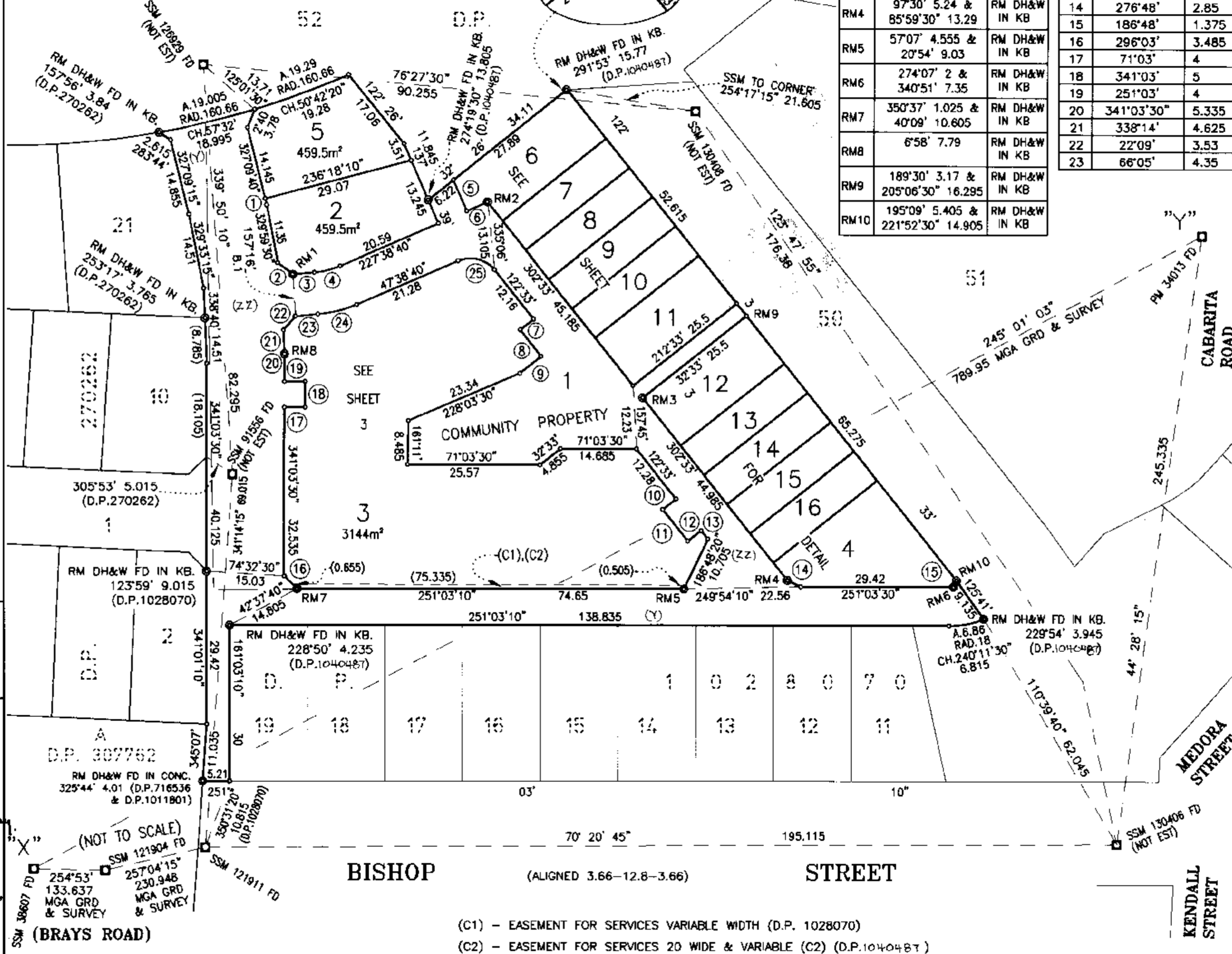
IN 2 SHEETS

TABLE OF SHORT ARCS				
No.	ARC	RADIUS	CHORD	
4	5.135	15.95	236°52'	5.11
24	7.74	24.05	56°52'	7.71
25	7.78	5.95	85°06'	7.235

TABLE OF SHORT LINES		
No.	BEARING	DISTANCE
1	327°09'40"	1.235
2	288°34'	3.63
3	246°05'	4.185
5	317°39'	6.54
6	227°39'	4.365
7	212°33'	3.3
8	122°33'	6.55
9	212°33'	5.27
10	212°33'	3.3
11	122°33'	7.8
12	32°33'	3.3
13	122°33'	2.115
14	276°48'	2.85
15	186°48'	1.375
16	296°03'	3.485
17	71°03'	4
18	341°03'	5
19	251°03'	4
20	341°03'30"	5.335
21	338°14'	4.625
22	22°09'	3.53
23	66°05'	4.35

SCHEDULE OF REFERENCE MARKS PLACED		
RM1	13°07' 1.955 & 346°13' 6.715	RM DH&W IN KB
RM2	327°30' 5.215 & 340°15' 10.145	RM DH&W IN KB
RM3	344°55' 0.75 & 43°55' 5.6	RM DH&W IN KB
RM4	97°30' 5.24 & 85°59'30" 13.29	RM DH&W IN KB
RM5	57°07' 4.555 & 20°54' 9.03	RM DH&W IN KB
RM6	274°07' 2 & 340°51' 7.35	RM DH&W IN KB
RM7	350°37' 1.025 & 40°09' 10.605	RM DH&W IN KB
RM8	6°58' 7.79	RM DH&W IN KB
RM9	189°30' 3.17 & 205°06'30" 16.295	RM DH&W IN KB
RM10	195°09' 5.405 & 221°52'30" 14.905	RM DH&W IN KB

(Y) (BENEFITED BY EASEMENT FOR OVERLAND FLOW/PATH (W) DP1025319)
 (BENEFITED BY EASEMENT FOR OVERLAND FLOW/PATH (W) DP1029084)
 RESTRICTION ON USE OF LAND - DP1011801
 (Z) RESTRICTION ON USE OF LAND - DP1016923



DP270299

Registered: 17.05.2002
 CA: SEE CERTIFICATE
 Title System: TORRENS
 Purpose: SUBDIVISION
 Ref. Map: U0952-73
 Last Plan: DP1040487

PLAN OF SUBDIVISION OF LOT 49 IN D.P. & EASEMENT WITHIN LOT 52 IN D.P.

Lengths are in metres. Reduction Ratio 1:600

LGA: CITY OF CANADA BAY
 Locality: BREAKFAST POINT
 Parish: CONCORD
 County: CUMBERLAND

This is sheet 2 of my plan in 5 sheets (Delete if inapplicable).

Surveyors (Practice) Regulation 2001

TASY MORATIS
 of DENNY LINKER & CO. DX630 SYDNEY
 a surveyor registered under the Surveyors Act 1929, certify that the survey represented in this plan is accurate, has been made in accordance with the Surveyors (Practice) Regulation 2001 and was completed on 12/03/2002
 The survey relates to:
 LOT 49 IN D.P.

(specify the land actually surveyed or specify any land shown in the plan that is not the subject of the survey)

Signature: Tasy Moratis
 Dated: 15/03/2002
 Surveyor registered under the Surveyors Act 1929
 Datum Line: 'X'-'Y'
 Type: Urban / Rural

Plans used in preparation of survey/compilation

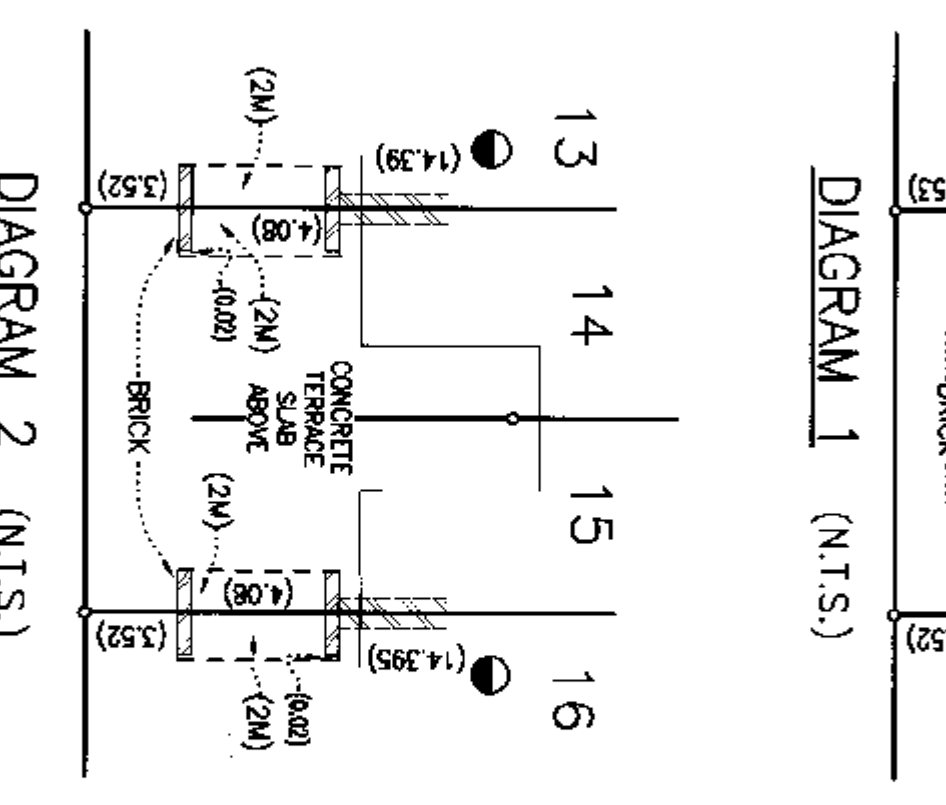
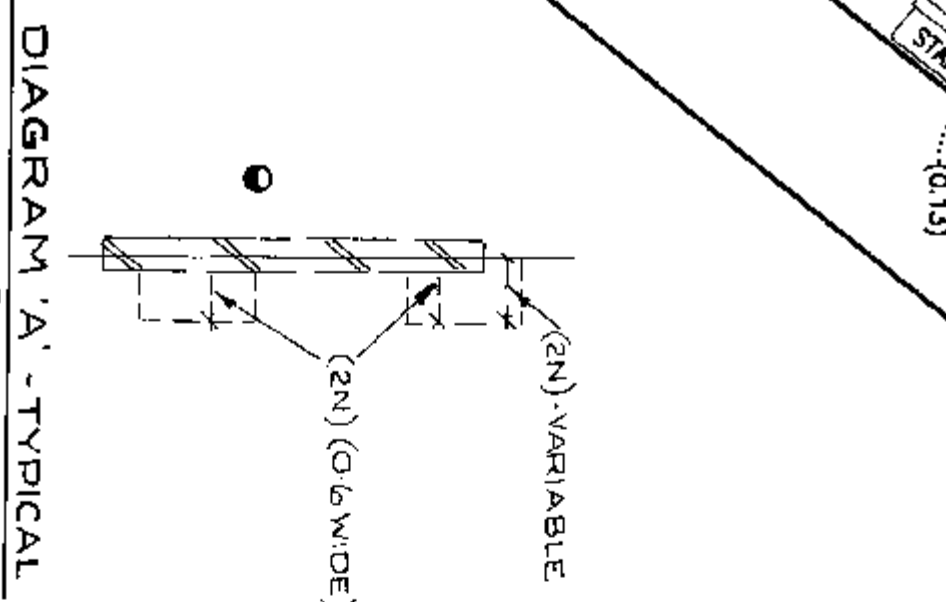
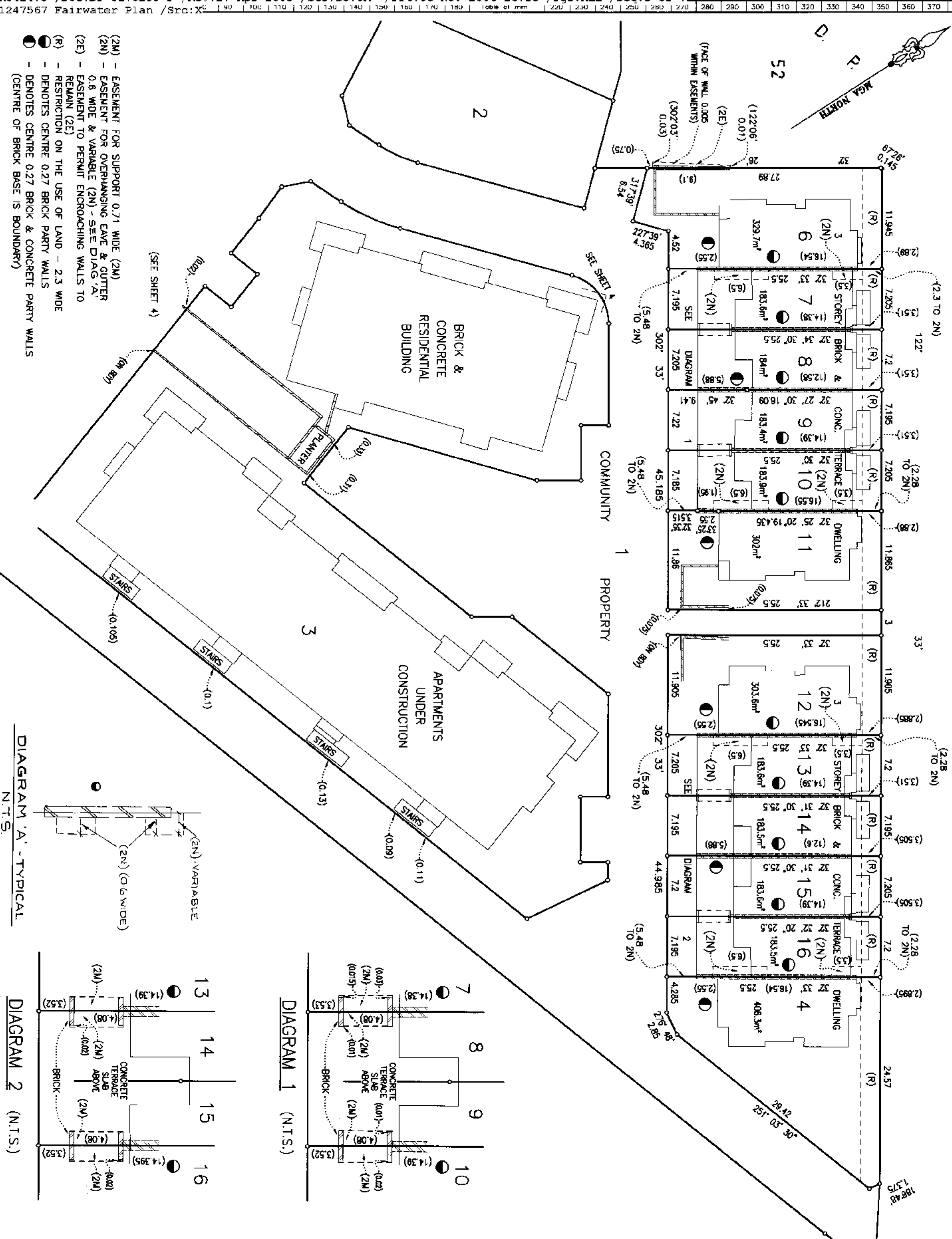
D.P. 1028070
 D.P. 270262
 D.P.

PANEL FOR USE ONLY for statements of intention to dedicate public roads, to create public reserves, drainage reserves, easements, restrictions on the use of land or positive covenants
 PURSUANT TO SEC. 88B OF THE CONVEYANCING ACT 1919 IT IS INTENDED TO CREATE:

- RESTRICTION ON THE USE OF LAND 2.3 WIDE
- EASEMENT FOR OVERHANGING EAVE & GUTTERING 0.8 WIDE & VARIABLE (2N).
- RIGHT OF WAY VARIABLE WIDTH (2A).
- EASEMENT FOR ELECTRICITY PURPOSES (2S).
- EASEMENT FOR SUPPORT 0.71 WIDE (2M).
- EASEMENT FOR CARPARK VENTILATION PURPOSES 3 WIDE (2P).
- EASEMENT TO PERMIT ENCRANCHING WALLS TO REMAIN (2E).

10	20	30	40	50	60	70	80	90	100	110	120	130	140	150	160	170	180	190	200	210	220	230	240	250	260	270	280	290	300	310	320	330	340	350	360	370	380	390
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DETAIL PLAN
(IN 2 SHEETS)



DP270299
Registered: 17.05.2002
This is sheet 3 of my plan in 5 sheets dated 15/03/2002
Surveyor registered under Surveyors Act 1929
This is sheet 3 of the plan of sheets covered by subdivision certificate No 1427 of 24/07/02

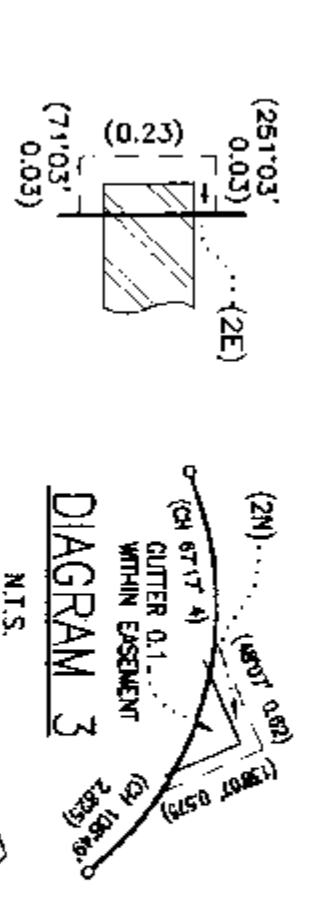
For use where space is insufficient in any part on Plan Form 2, STIGNED by NEVILLE ALLEN (as Attorney) or SPEAKERS PATRIOT PTY LIMITED (as Attorney) or under power of Attorney dated 15 NOV 2001 and registered Book 43301 NO. 8. in the presence of 6

Signature of witness
Chris Rose
Neville or witness
Laverie W. 60 Callaghan
Garry Slatyer
Address of witnesses

EXECUTED BY CAPITAL FINANCE AND TRADING LIMITED ACN 007 60 136 BY ITS LEGALLY APPOINTED ATTORNEYS
BRIET LEWIS
MARK COOBBETT
Full Names
PURSUANT TO POWER OF ATTORNEY OF WHICH THEY HAVE NO NOTICE OF REVOCATION IN THE PRESENCE OF:
M. Jones
Witness **URS-A MANA**

Signature
Signature
no 968
1300 x 4268

Reduction Ratio 1: 500
SURVEYOR'S REFERENCE: 990421 SL2 COMPDP WEST



COMMUNITY PROPERTY PLAN
COMMUNITY PROPERTY LOT ONLY
 (FOR FULL AZIMUTH AND REFERENCE MARK
 DETAILS REFER TO SHEET 2)

- (B) RIGHT OF WAY VARIABLE WIDTH (B) (D.P.1025319)
- (D) EASEMENT FOR SERVICES (D) (D.P.1025319)
- (U) EASEMENT FOR WATER SUPPLY PURPOSES 2.5 WIDE & VARIABLE (D.P.1025319)
- (K) EASEMENT FOR ACCESS & DRAINAGE PURPOSES (D.P.1025319)
- (L) POSITIVE COVENANT (D.P.1025319)
- (W) EASEMENT FOR OVERLAND FLOW PATH (D.P.1025319)
- (M) EASEMENT TO DRAIN WATER 3 WIDE & VARIABLE (D.P.1025319)
- (A1) RIGHT OF WAY VARIABLE WIDTH (D.P.1028070)
- (C1) EASEMENT FOR SERVICES VARIABLE WIDTH (D.P.1028070)
- (W1) EASEMENT FOR OVERLAND FLOW PATH (D.P.1028070)
- (2A) RIGHT OF WAY VARIABLE WIDTH (2A) - AFFECTS THE WHOLE OF LOT 1
- (2S) EASEMENT FOR ELECTRICITY PURPOSES (2S) - AFFECTS THE WHOLE OF LOT 1
- (C2) EASEMENT FOR SERVICES 20 WIDE & VARIABLE (C2) (D.P.1040487)
- (2E) RESTRICTION TO PERMIT ENCRANCHING WALLS TO REMAIN (2E)
- (R) RESTRICTION ON THE USE OF LAND 2.5 WIDE
- (2N) EASEMENT FOR OVERHANGING EAVE & GUTTERING 0.6 WIDE & VARIABLE (2N)
- (2P) EASEMENT FOR CARPARK VENTILATION PURPOSES 3 WIDE (2P)

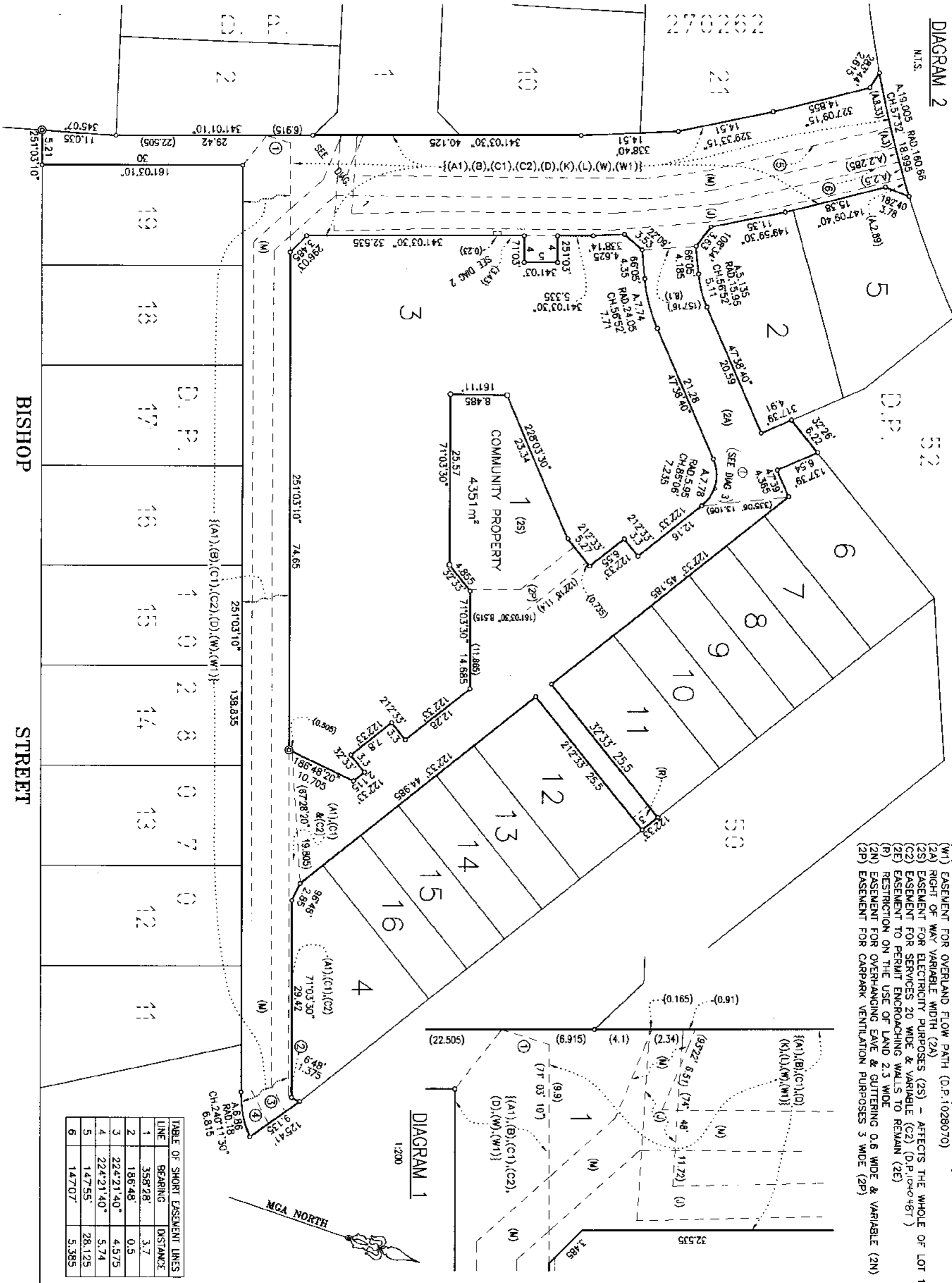


TABLE OF SHORT EASEMENT LINES

LINE	BEARING	DISTANCE
1	358°28'	3.7
2	186°48'	0.5
3	224°21'40"	4.575
4	224°21'40"	5.74
5	147°55'	28.125
6	147°07'	5.385

DP270299
 Registered: 17.05.2002
 This is sheet 4 of my plan in 5 sheets dated 15/03/2002
 Surveyor registered under Surveyors Act 1929
 This is sheet 4 of the plan of 5 sheets covered by subdivision certificate No. 14227 of 26/04/02
 For use where space is insufficient in any panel on Plan Form 2.

INITIAL SCHEDULE
SCHEDULE OF UNIT ENTITLEMENTS

HISTORICAL FILE
SEE REPLACEMENT SHEET 5A

LOT No.	UNIT ENTITLEMENT	SUBDIVISION
1	COMMUNITY PROPERTY	
2	39	
3	515	
4	38	
5	39	
6	38	
7	33	
8	32	
9	32	
10	33	
11	37	
12	36	
13	32	
14	32	
15	32	
16	32	
TOTAL	1000	

Registered 15/03/2002
15/03/2002
Surrey registered under Surveyors Act 1929

This is sheet 5 of the plan of 5 sheets covered by subdivision certificate No. 1427 of 26/04/03.

[Signature]
Authorised Person/Valuer/Competent Person

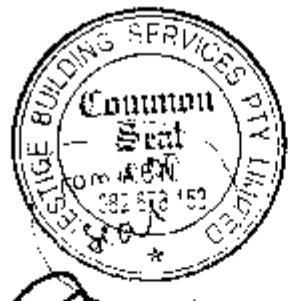
For use where space is insufficient in any part of Plan Form 2

THIS SHEET SHOWS AN INITIAL SCHEDULE OF UNIT ENTITLEMENTS FOR THE COMMUNITY SCHEME WHICH IS LIABLE TO BE ALTERED AS THE SCHEME IS DEVELOPED OR ON COMPLETION OF THE SCHEME IN ACCORDANCE WITH THE PROVISIONS OF SECTION 30 OF COMMUNITY LAND DEVELOPMENT ACT 1989. SUBSEQUENT CHANGES WILL BE RECORDED ON A REPLACEMENT SHEET OF THIS PLAN WHICH WILL BE NUMBERED SHEET 5A,5B ETC. AS THE CIRCUMSTANCES REQUIRE.

[Signature]
RICHARD MONTAGUE
OF Stranmillis Estate, Stranmillis, Rathfriland
BEING A VALUER REGISTERED UNDER THE VALUER'S REGISTRATION ACT 1975, CERTIFY THAT THE UNIT ENTITLEMENTS SHOWN ON THIS SHEET ARE BASED UPON VALUATIONS MADE BY ME ON 18 February 2001

SIGNATURE: *[Signature]*
DATE: 30 APRIL 2001

10 20 30 40 50 60 70 80 90 100 110 120 130 140 150 160 170 180 190 200 210 220 230 240 250 260 270 280 290 300 310 320 330 340 350 360 370 380 390 400



David Martin Murphy
DAVID MARTIN MURPHY
 Director

Ian Raymond Carter
IAN RAYMOND CARTER
 Director

**INITIAL SCHEDULE
 SCHEDULE OF UNIT ENTITLEMENTS**

LOT NO.	UNIT ENTITLEMENT	SUBDIVISION
1	COMMUNITY PROPERTY	
2	NOW LOTS 17-18	SUBDIVIDED INTO LOTS 17 & 18 -SEE SHEET 6
3	515	
4	38	
5	NOW LOTS 17-18	SUBDIVIDED INTO LOTS 17 & 18 -SEE SHEET 6
6	38	
7	33	
8	32	
9	32	
10	33	
11	37	
12	36	
13	32	
14	32	
15	32	
16	32	
17	41	
18	37	
TOTAL	1000	

Chris Gibbs
CHRIS GIBBS (Christopher Ian Gibbs)
 Director

Executed by St George Bank Limited ABN 92 055 513 070 by its attorneys pursuant to Power of Attorney registered number **BR1182** of which they held no notice of revocation: **NO185**

Signature: *Glenn Frame*
 Attorney: **Glenn Frame**
 Position: **Senior Manager**

Signature: *Colin Tennant*
 Attorney: **Colin Tennant**
 Position: **Senior Manager**

Witness: *Kathleen Gillard*
Kathleen Gillard
 Bank Officer with 5 or more years continuous service

AUSTRALIA AND NEW ZEALAND BANKING GROUP LIMITED
 A.C.N. 045 357 532
 BY ITS ATTORNEY UNDER POWER OF ATTORNEY THROUGH No. 461 No. 878
Sandra Hobbs
SANDRA HOBBS
 ACTING MANAGER SECURITIES

DP270299
 REPLACEMENT 5A
 Registered: **26.04.2005**

This is sheet 2 of my plan in 2 sheets dated 22/11/04
Patrick Robinson
 Surveyor registered under the Surveying Act 2002

This is sheet 2 of the plan of Z sheets covered by my certificate No. of
Patrick Robinson
 Authorised Person / General Manager / Accredited Certifier

For use where space is insufficient in any panel on Plan Form 2.

THIS SHEET CONTAINS AN UPDATED SCHEDULE OF UNIT ENTITLEMENT AND REPLACES SHEET 5 OF THE PLAN REGISTERED ON 17/5/2002

THIS SHEET SHOWS AN INITIAL SCHEDULE OF UNIT ENTITLEMENTS FOR THE COMMUNITY SCHEME WHICH IS LIABLE TO BE ALTERED AS THE SCHEME IS DEVELOPED OR ON COMPLETION OF THE SCHEME IN ACCORDANCE WITH THE PROVISIONS OF SECTION 30 OF COMMUNITY LAND DEVELOPMENT ACT 1989.

SUBSEQUENT CHANGES WILL BE RECORDED ON A REPLACEMENT SHEET OF THIS PLAN WHICH WILL BE NUMBERED SHEET 5B, 5C ETC. AS THE CIRCUMSTANCES REQUIRE.

Alexandra Rogers
Alexandra Rogers
 OF *Preston Rowe Paterson*
Preston Rowe Paterson
 BEING A VALUER REGISTERED UNDER THE VALUER'S REGISTRATION ACT 1975, CERTIFY THAT THE UNIT ENTITLEMENTS FOR THE NEW LOTS CREATED BY THE SUBDIVISION ARE BASED UPON MARKET VALUES OF SUCH LOTS AT 16 February 2001 BEING THE DATE OF THE VALUER'S CERTIFICATE LODGED WITH THE ORIGINAL INITIAL SCHEDULE.
 SIGNATURE: *Alexandra Rogers*
 DATE: 12 April 2005

SIGNATURE AND SEALS ONLY.



SURVEYING REG. 2001: CLAUSE 32(2)					
MARK	M.G.A. CO-ORDINATES		C	O	Z
	EASTING	NORTHING			
SSM 91556	325 287.397	6 253 249.540	C	3	56
SSM 126929	325 259.033	6 253 326.786	C	3	56
SSM 130408	325 346.777	6 253 347.916	C	3	56

SOURCE: N.S.W. L.I.C. ON 15/9/2004
COMBINED SCALE FACTOR : 0.999975

DETAIL PLAN

Signature: *[Signature]*
 Name & Position: **DAVID MURPHY** | **JAM. RAYMOND**
 Director | Director

Signature: *[Signature]*
 Name & Position: **CHRIS GIBBS** (Christopher Ian Gibbs)
 Susan J. Gibbs

Executed by St George Bank Limited ABN 92 065 513 070 by its attorneys pursuant to Power of Attorney registered number **DK4183** of which they hold no notice of revocation.

Signature: *[Signature]*
 Attorney: **Guyren Frame**
 Position: Senior Manager

Signature: *[Signature]*
 Attorney: **Colin Tennant**
 Position: Senior Manager

Witness: **K. Pearce**

Nathleen Gillard
 Bank Officer with 5 or more years continuous service
 AUSTRALIA AND NEW ZEALAND BANKING GROUP LIMITED
 A.C.N. 005 357 522
 BY HER ATTORNEY UNDER POWER OF ATTORNEY BOOK No. 4001 No. 479
Beverly Bird
 ACTING MANAGER SECURITIES

Department of Lands Approval

I, *[Signature]* in approving this plan certify (Authorised Officer) that all necessary approvals in regards to the allocation of the land shown herein have been given.

Signature: _____
 Date: _____
 File No.: _____
 Office: _____

Subdivision Certificate

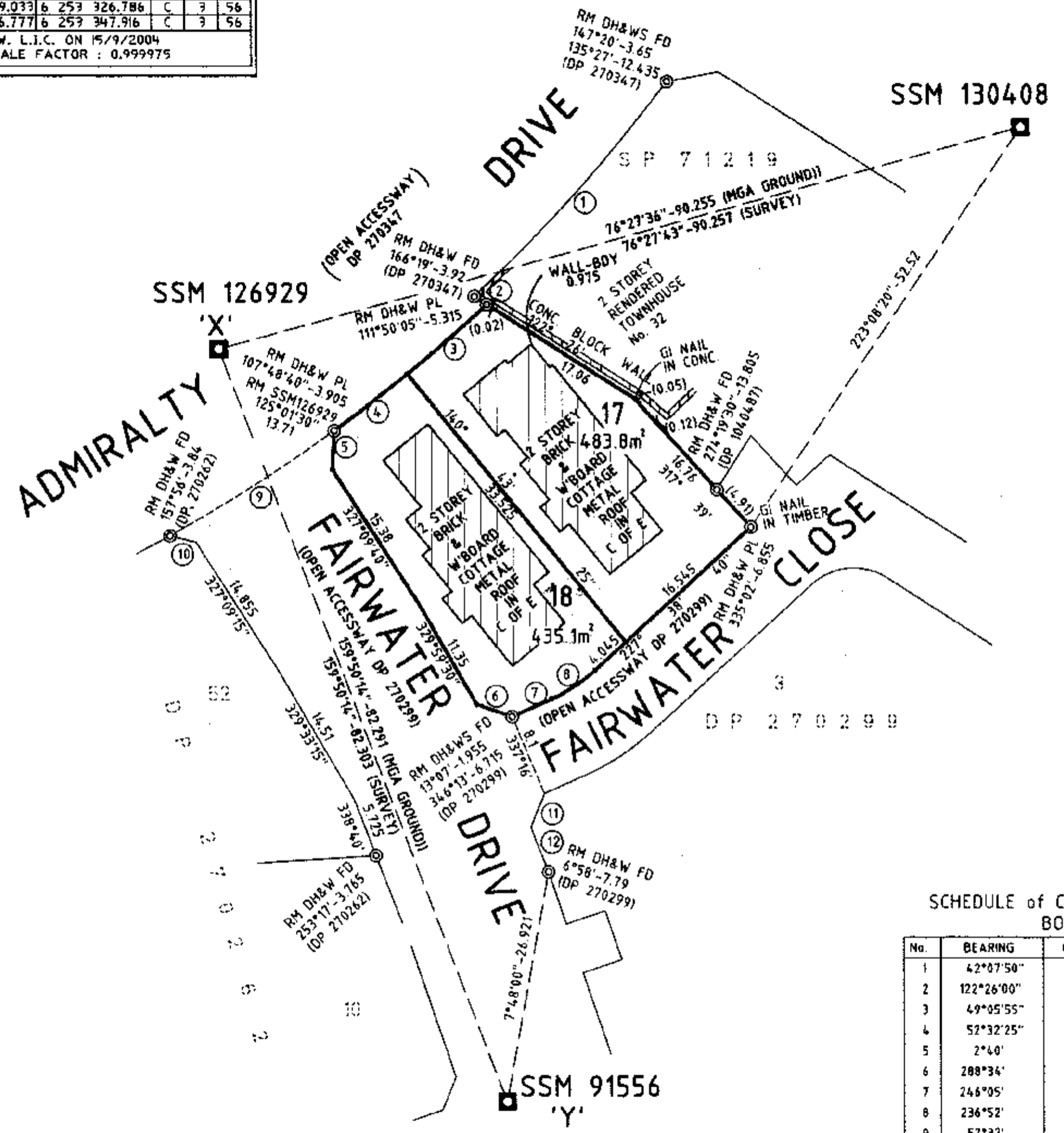
I certify that the provisions of s.109 of the Environmental Planning and Assessment Act 1979 have been satisfied in relation to the proposed **subdivision** set out herein.

Authorised Person/General Manager/Notarised Certificate: **Pedro K. Kallensen**

Consent Authority: **CITY OF CANADA BAY**
 Date of endorsement: **5-4-05**
 Accreditation no.: _____
 Subdivision Certificate no.: **1491**
 File no.: **DA 831/02**

Notes:
 When the plan is to be lodged electronically in the Land Titles Office, it should include a signature in an electronic or digital format approved by the Registrar-General.

Delete whichever is inapplicable.



SCHEDULE of CURVED & SHORT LINE BOUNDARIES

No.	BEARING	CHORD	ARC	RADIUS
1	42°07'50"	28.08	28.115	161.835
2	122°26'00"	1.45		
3	49°05'55"	10.275	10.275	160.66
4	52°32'25"	9.015	9.015	160.66
5	2°40'	3.78		
6	288°34'	3.63		
7	246°05'	4.185		
8	236°52'	5.11	5.13	15.95
9	57°32'	18.995	19.005	160.66
10	283°44'	2.615		
11	22°09'	3.53		
12	338°14'	4.625		

ADDITIONAL SHEET 6

DP270299

Registered: **OP 26-04-2005**
 Title System: **TORRENS**
 Purpose: **SUBDIVISION**
 Ref. Map: **U0992-T3**
 Last Plan: **DP 270299**

PLAN SUBDIVISION OF LOTS 2 & 5 IN DP 270299

Lengths are in metres. Reduction Ratio: 1:400

LGA CITY OF CANADA BAY
 Suburb/Locality: **BREAKFAST POINT**
 Parish: **CONCORD**
 County: **CUMBERLAND**

This is sheet 1 of my plan in 2 sheets (delete if inapplicable).

Surveying Regulation 2001
 I, **STEPHEN THOMAS DIKE**
 of **BURTON & FIELD PTY LTD**
 of **DX5020 LIVERPOOL**
 a surveyor registered under the Surveying Act 2002, hereby certify that the survey represented in this plan is accurate, has been made in accordance with the Surveying Regulation 2001 and was completed on **20/11/04**.

The survey relates to **LOTS 2 & 5**
 (here specify the land actually surveyed, or specify any land shown in the plan that is not the subject of the survey)
 (Signature) *[Signature]* Dated: **22/11/04**
 Surveyor registered under the Surveying Act, 2002
 Datum Line: "X"-Y
 Zone: Urban/Rural

Plans used in preparation of survey/compilation:
 D.P. 270299
 D.P. 270347

PANEL FOR USE ONLY for statements of intention to dedicate public roads, to create public reserves, drainage reserves, easements, restrictions on the use of land of positive covenants.

THIS IS SHEET 6 OF DP270299 AND IT REPLACES SHEET 2 AS REGARDS LOTS 2 & 5 AND IS AN ADDITIONAL SHEET

Req:R842478 /Doc:DP 0270299 P /Rev:27-Apr-2005 /Sts:SC.OK /Prt:08-Nov-2006 16:18 /Pgs:ALL /Seq:7 of 7
 Ref:1247567 Fairwater Plan /Src:X